

Pursuit of  
a Radical  
Rhapsody

Whitefield







Visualisation of the boardwalk

**Pursuit of a Radical Rhapsody** is designed in the pursuit of a new idea – the idea of having a tree in your terrace garden. Each garden in our L30 and L45 apartments, has been designed to house a tree with the help of a specially developed tree tub - as high as the 27th floor!

The property is located on the edge of a small lake in whitefield - the IT hub of India's Silicon Valley, in the vicinity of the best international schools, hospitals, malls and five-star hotels, within a 3 minute walk from the Forum Mall and Manipal Hospital and the Sheraton Hotel. Whitefield's urbane culture and lifestyle have made it home to well-travelled professionals. Against the backdrop of Bangalore's glorious weather, this burgeoning suburb is one of the best investment destinations in India.

With several hundred trees all over the campus, earth sheltered roofs over the villas and terrace gardens with every single home, we do expect the microclimate inside the project to be a little better than outside. The inviting cobble stone streets around the homes are carefully planned to encourage pedestrians, enhance disabled friendly access and discourage high-speed vehicular traffic.



Visualisation of the open to sky Terrace Garden

The project includes our signature earth-sheltered homes with 4 bedrooms, our C20 & larger lake facing L30 3 bedroom apartments and our very special L45 4 bedroom apartments, stepping back from the lake with open-to-sky gardens.

With our "BLUE" specifications, every home comes furnished with wardrobes, beds, and kitchen cabinetry, including a hob, chimney and dishwasher and with central VRV air-conditioning. Each of these

homes is also available in our Green or Purple, specifications. We have tried to perfect our homes over time to provide a sense of warmth, privacy, openness and tranquillity in an increasingly stressful world. Almost every space opens out onto a landscaped garden, complete with a sprinkler system and drip irrigation system, and large glass panels bring in natural light into the home.

Warm earthy natural materials have been used everywhere and great

care taken to build each home. Woodwork, metalwork, flooring, and even landscaping, all meticulously built through our own – "Total Environment Machine-Craft".

Our commitment to quality extends well beyond the customization and delivery of your home. We assume responsibility for property maintenance which includes a comprehensive slew of services that ensure competent and timely care of your home.

*This Image depicts the fully furnished product specifications (different from green, orange, blue and purple)*



*Visualisation of the towers at Pursuit of a Radical Rhapsody*



*Visualisation of the Clubhouse Interior*

# Master Plan

## Phase I & II



### Legend

- 01 Tower 1
- 02 Tower 2
- 03 Tower 3
- 04 Tower 4
- 05 Tower 6
- 06 Tower 7
- 07 Terraced Apartments
- 08 Villas
- 09 Central Greens
- 10 Board Walk
- 11 Entry / Exit

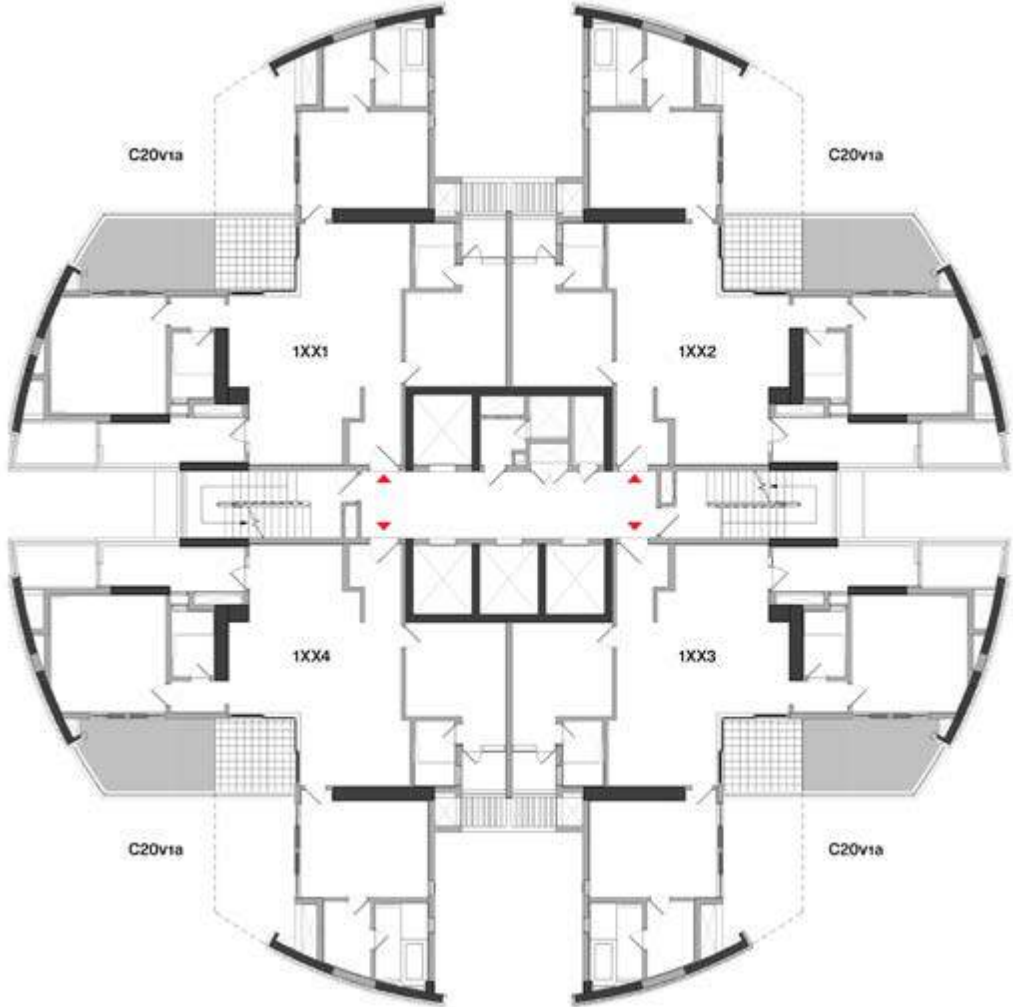
- Master Development Land
- ..... Project Land

# Block Plan

## Villas



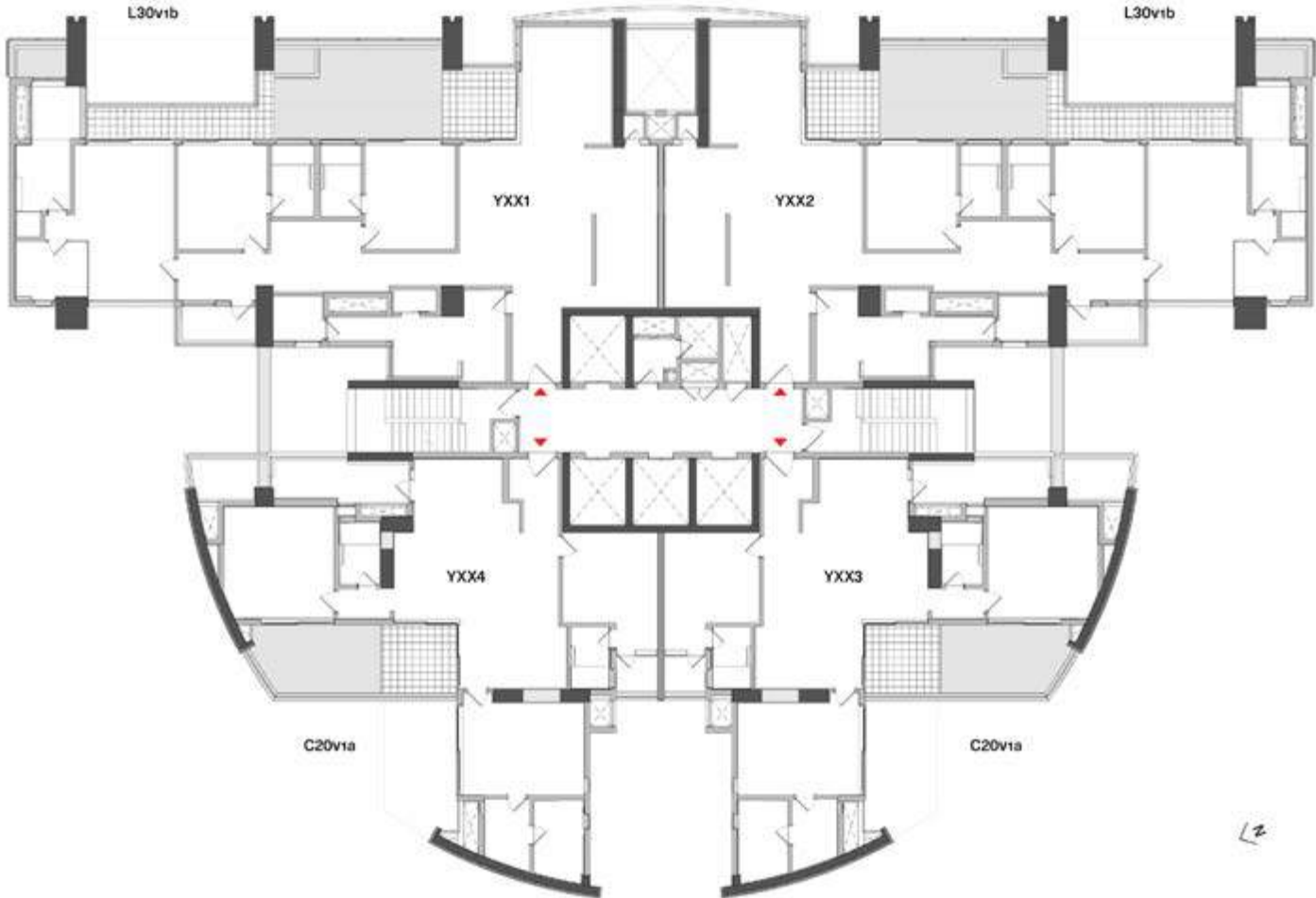
Block Plan  
Tower 1 & 7



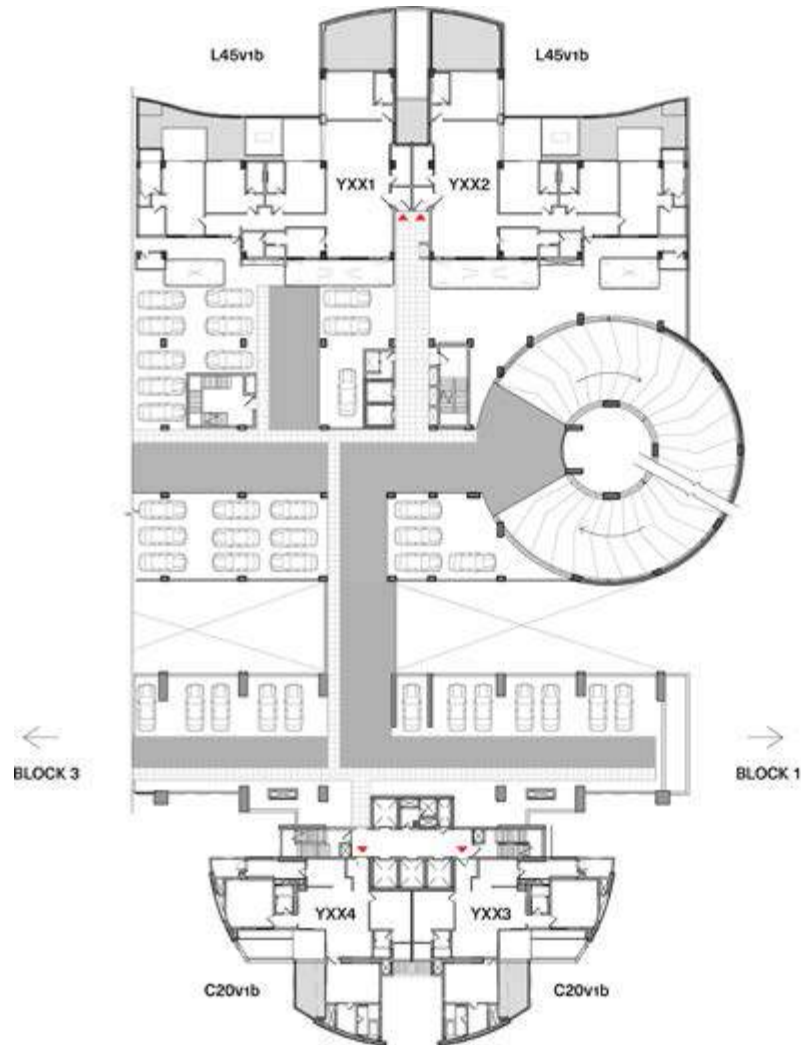
# Block Plan

## Tower 2, 3, 4 & 6

(Level 10-27)



Block Plan  
Tower 2, 3, 4 & 6  
Vertical & Stepped  
(Level 1-6)



# Location Map



## Legend

- Schools
- Hospitals
- Metro Station
- Shopping Malls
- Hotels & Restaurants
- Metro Line
- 15.4 Km to MG Road
- 43.7 Km to Bangalore International Airport
- 15.4 Km to The International School, Bangalore
- 15.4 Km to Inventure Academy

# Amenities



Library



Gymnasium

Amenities in the project include:

- Library cafe
- Swimming pool + toddler's pool + Heated pool • Gym
- Squash courts
- Multipurpose hall
- Billiards
- Table tennis
- Board walk along the lake

And, in our commercial building at the entrance to the project, we are working on setting up a Grocery Store + Deli, F&B outlets and Office Spaces



Windmills Craftworks

# Fact File

## Project

Master Development Land Area	139615 sqm
Project Land Area - Phase 1 & 2	85133 sqm
Total Number of Units in Residential Development	1081
Number of Units in Project - Phase 1 & 2	691
Available Products in Project	C20, L30, L45 and V50
Approvals Obtained	AIRPORT, BWSSB, BESCOM, FIRE, MOEF, KSPB, BDA, BBMP, KIADB, BMRC, RERA
RERA Registration Number	PRM/KA/RERA/1251/446/PR/171014/000433, PRM/KA/RERA/1251/446/PR/190102/002271

## Location

Natural Features	Natural lake adjacent to site
Distance from CBD [Km]	15.7 km to MG Road
Distance from Airport [Km]	43.7 km to BIA
Nearest Hospital [Km]	0.95 km to Manipal Hospital
Nearest Good School [Km]	0.45 km to Gopalan International School
Nearest Upmarket Mall [Km]	1.5 km to Forum Shantiniketan Mall
Nearest 5 Star Hotel [Km]	1.5 km to Sheraton Grand Hotel





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**Total**Environment  
Homes



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Whitefield



A traditional office is where you check in at 9, check out at 5, and count the days to weekends and vacations. But it doesn't have to be that way. At Total Environment, we have designed and delivered living spaces for 24 years, by blurring the boundaries between the indoors and outdoors, making living in our homes feel more like a resort vacation.

We apply the same philosophy to our workspaces by embracing nature to bridge the gap between work and vacation.

**Introducing "WORKCATIONS" by Total Environment.**

Nature has the innate ability to enhance productivity and well-being. We channel this through good design and bring nature into your professional lives. Enjoying the best of what nature has to offer, does not have to be paused or postponed until you leave office. It's all available in our thoughtfully designed Workcations.

Most often, the right answers just follow the right questions.

**Why just go to Work, when you can have a Workcation?**

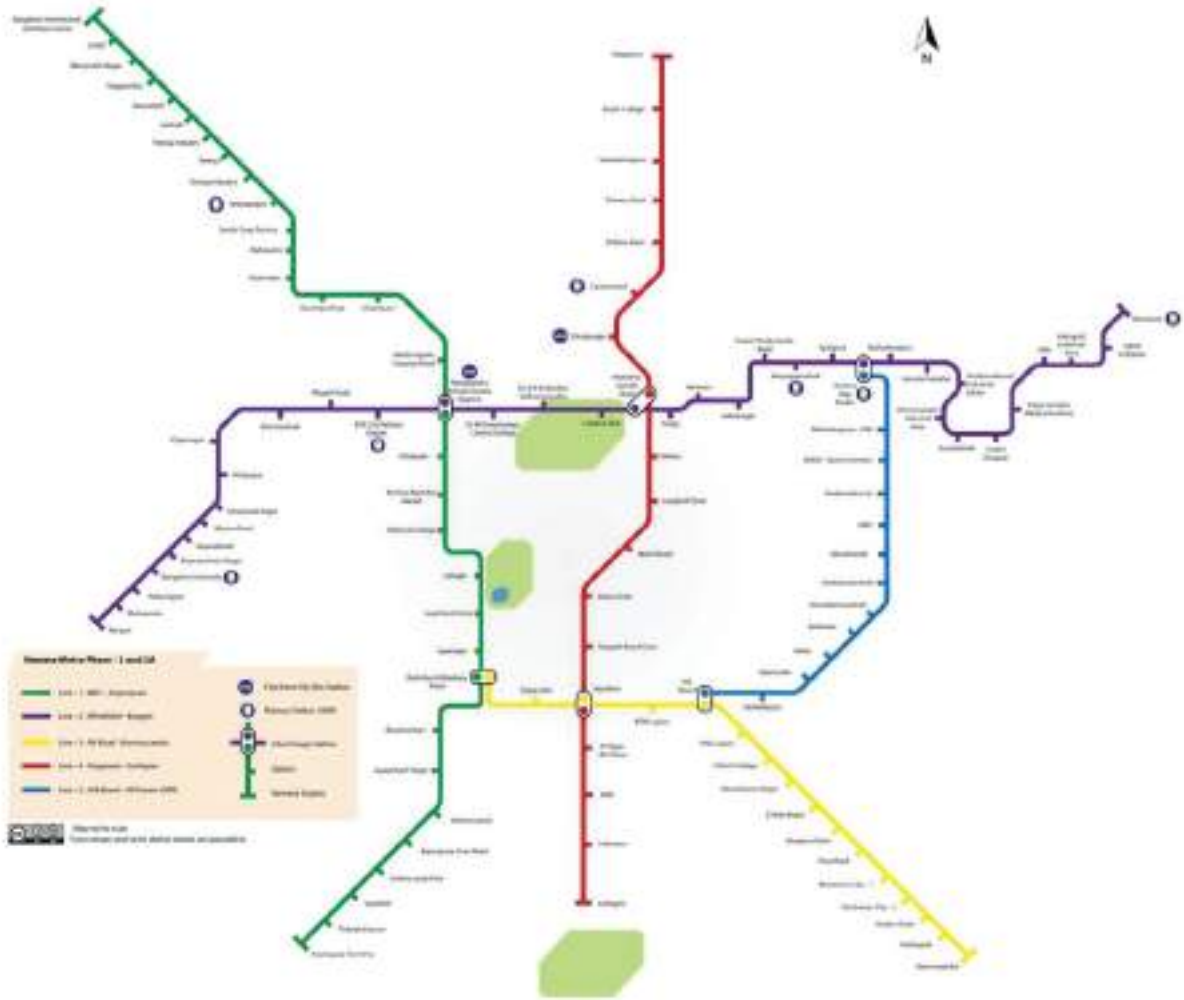
# Location Map



Pursuit of a  
Radical Rhapsody  
Commercial Block

## Legend

- Schools
- Hospitals
- Metro Station
- Retail, Dining and Entertainment
- Hotels
- Commercial Buildings
- Metro Line
- 15.4 Km to MG Road
- 43.7 Km to Bangalore International Airport
- 15.4 Km to The International School, Bangalore
- 15.4 Km to Inventure Academy



## Connectivity

**Whitefield** is in the Eastern periphery of Bangalore, and is well-linked to its far-reaches through a web of highways, expressways, roads and railways.

- Two major roads connect Whitefield to downtown Bangalore:
  - Whitefield road via Mahadevapura
  - Varthur road (HAL Old Airport Road) via Marathahalli
- HAL Airport Road, ITPL Main Road and other national & state highways run along the perimeter of the suburb.
- Bangalore International Airport is at a distance of 50 kilometers (about an hour's drive).
- Trains between Whitefield and the City Center take about 30 to 40 minutes.
- BMTc offers extensive business services to the area, with over 500 A/C Volvo buses plying daily.
- The Metro rail line extending up to Whitefield is in its second phase of development.

Pursuit of a Radical Rhapsody is perfectly located on the ITPL Main Road, close to residential communities, schools, shopping centres, cultural hubs, hospitals, restaurants & hotels. Efficient connectivity and a well-developed social infrastructure have led to this area becoming self-sufficient. Good employment opportunities, coupled with a talent pool of highly skilled manpower, has had a positive impact on the residential and commercial real estate markets in Whitefield, thereby making it a brand that many companies want to be part of.



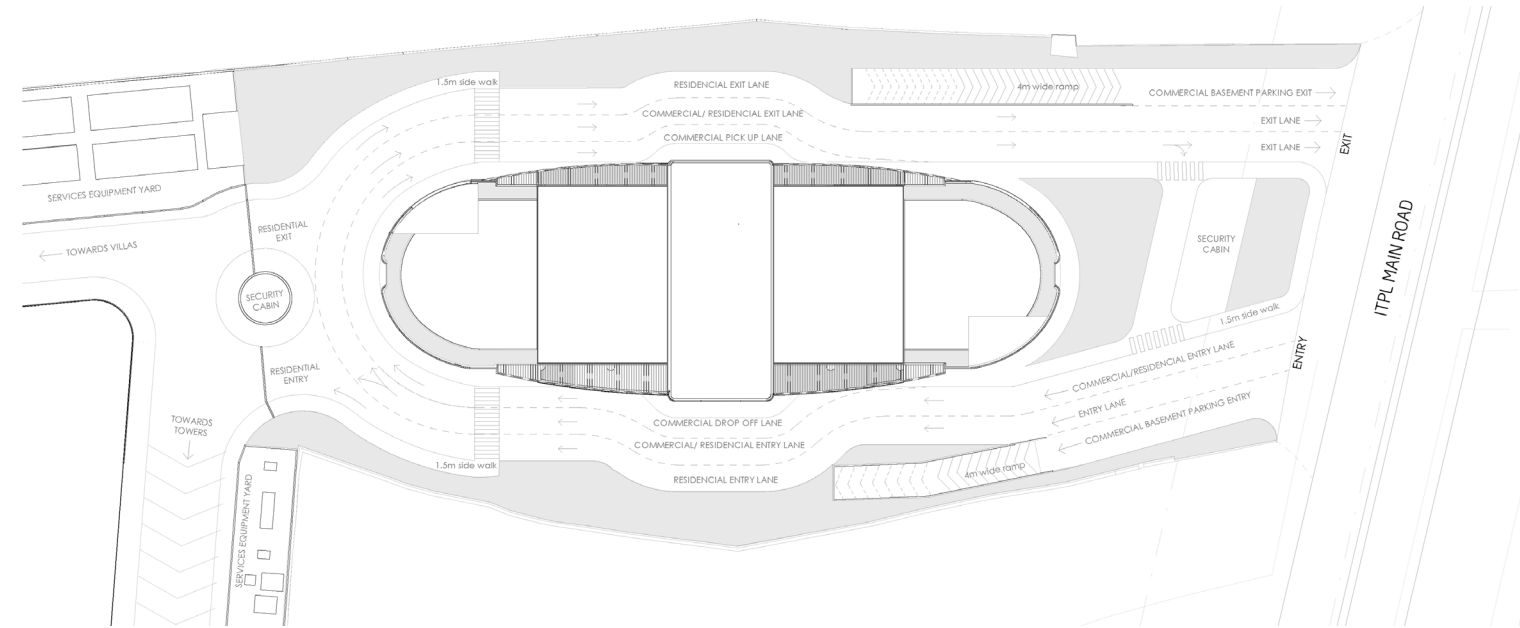
# Master Plan



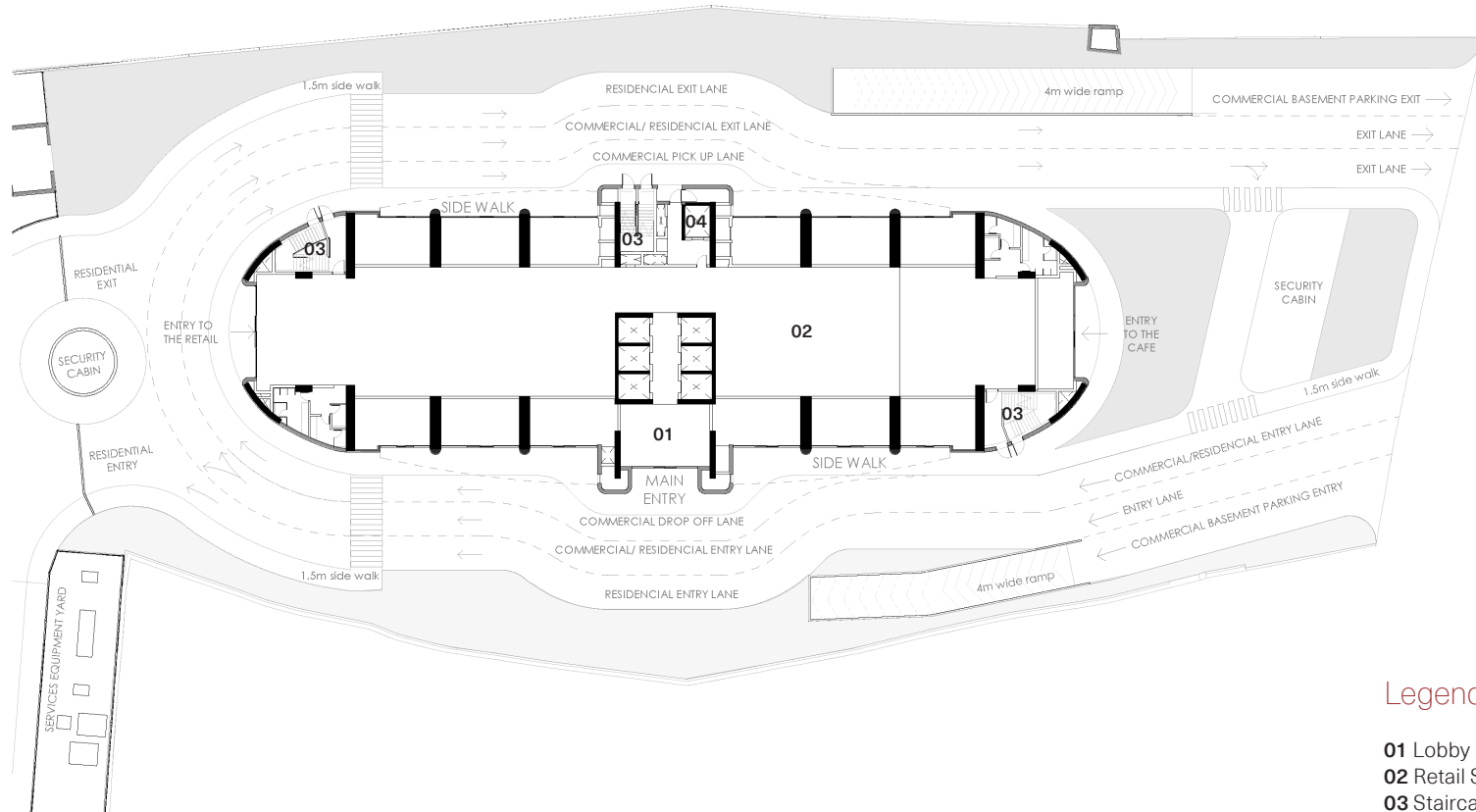
## Legend

- 01** Commercial Block
- 02** Residential Development
- 03** Main Entrance
- 04** Residential Entrance
- - -** Residential Development Boundary
- 05** Future Development

# Site Plan



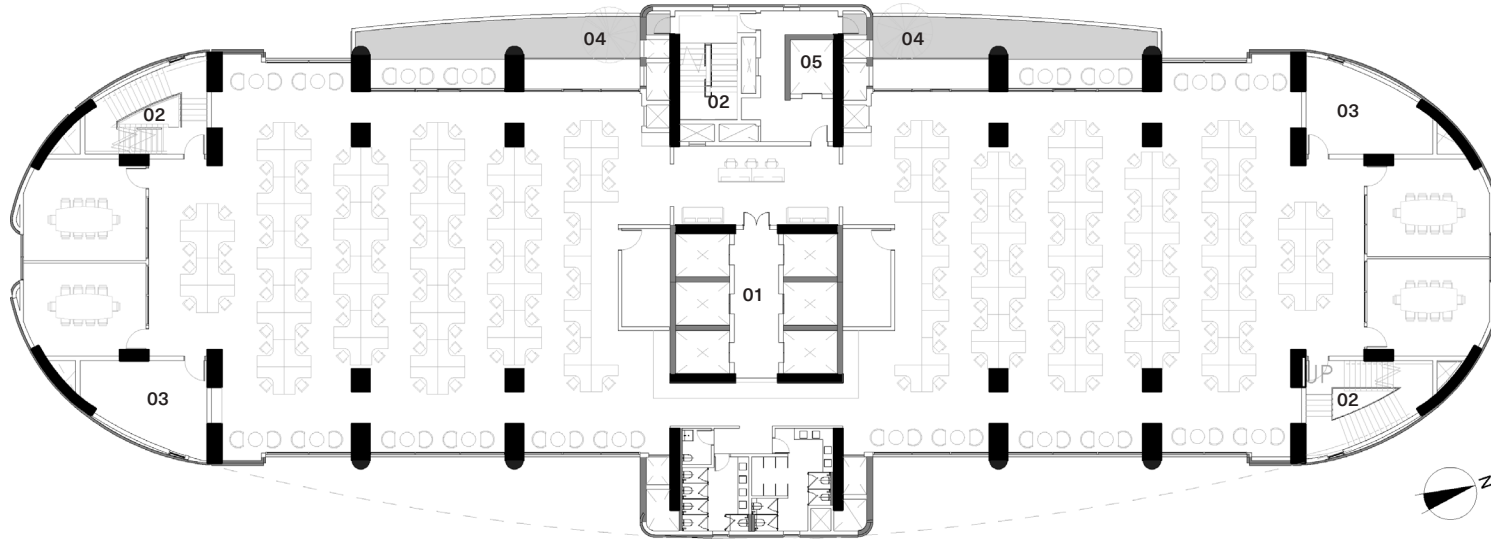
# Level 1 Plan



## Legend

- 01** Lobby
- 02** Retail Spaces
- 03** Staircase
- 04** Service Elevator

# Typical Odd Level Floor Plan

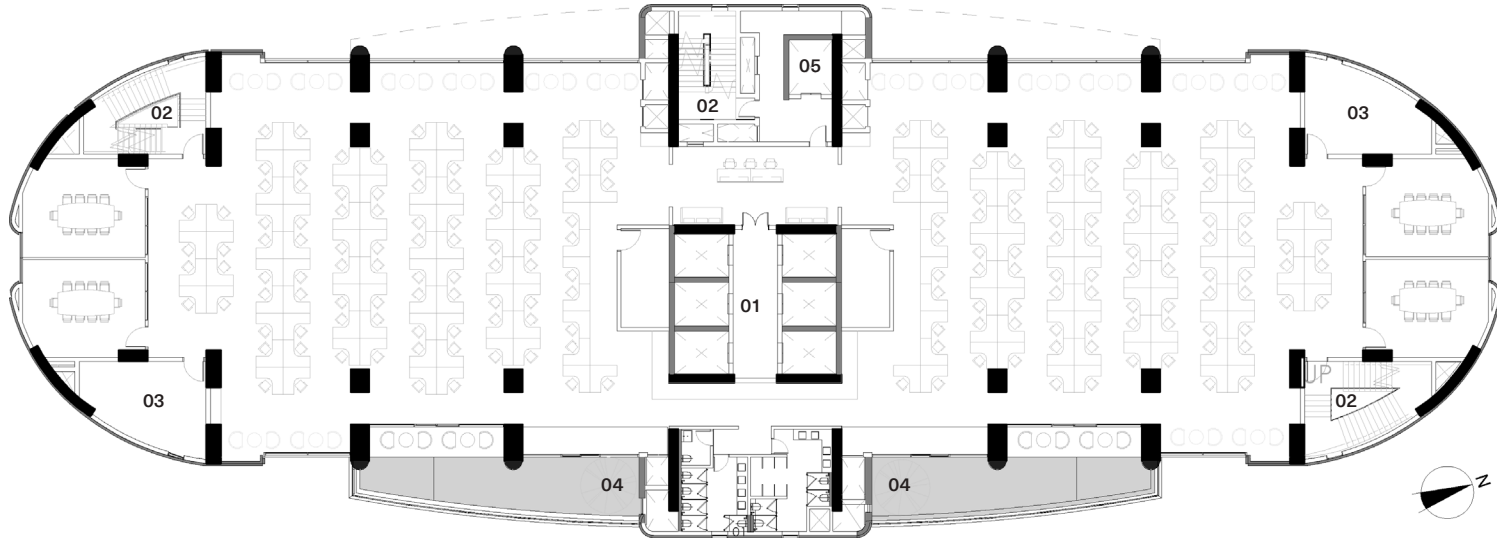


## Legend

- 01 Elevator Lobby
- 02 Staircase
- 03 AHU Room
- 04 Terrace Garden
- 05 Service Elevator

\* Furniture items and the layout shown here are indicative and provided for reference only.

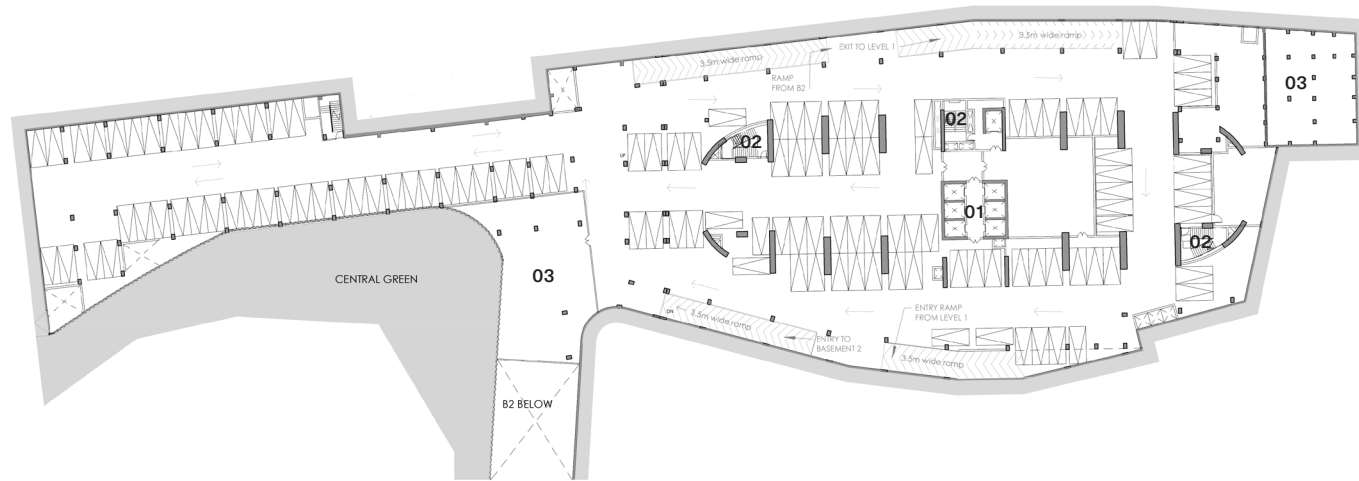
# Typical Even Level Floor Plan



## Legend

- 01 Elevator Lobby
- 02 Staircase
- 03 AHU Room
- 04 Terrace Garden
- 05 Service Elevator

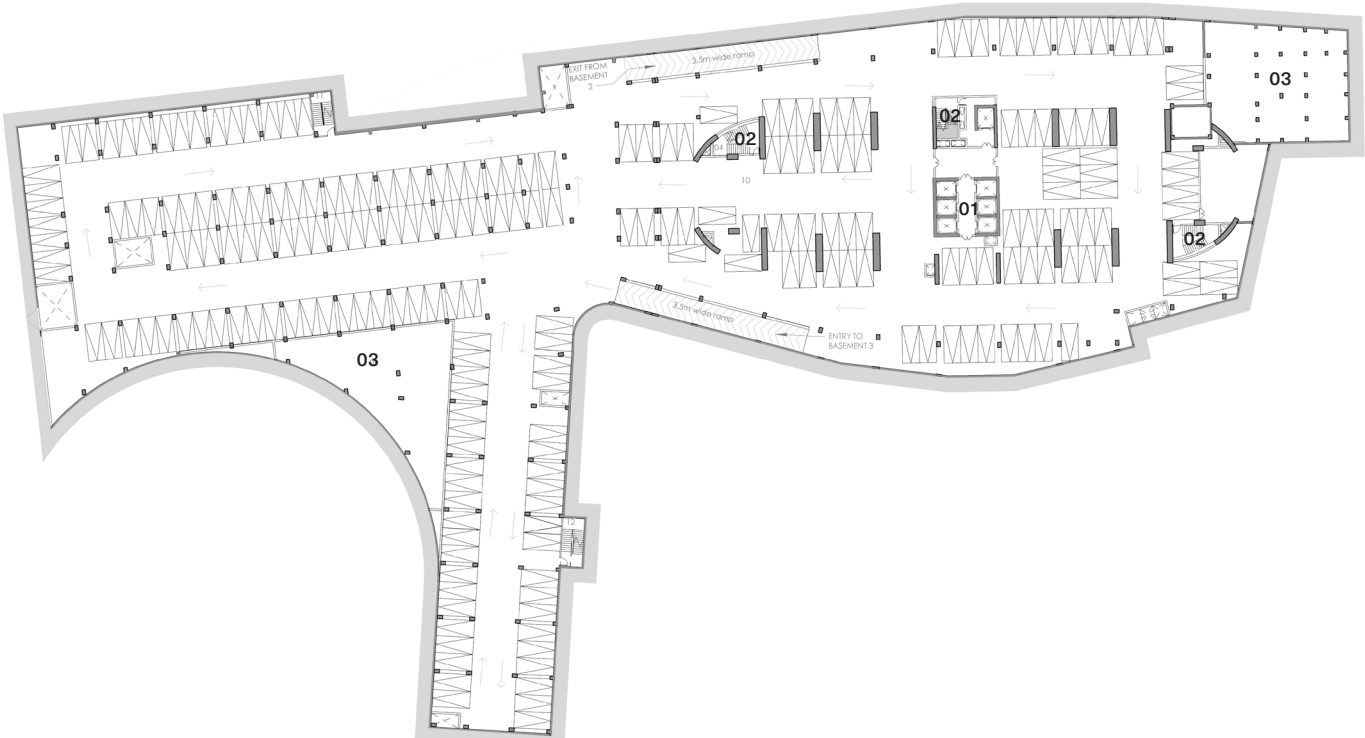
# Basement 1 Plan



## Legend

- 01** Elevator Lobby
- 02** Staircase
- 03** Service Areas

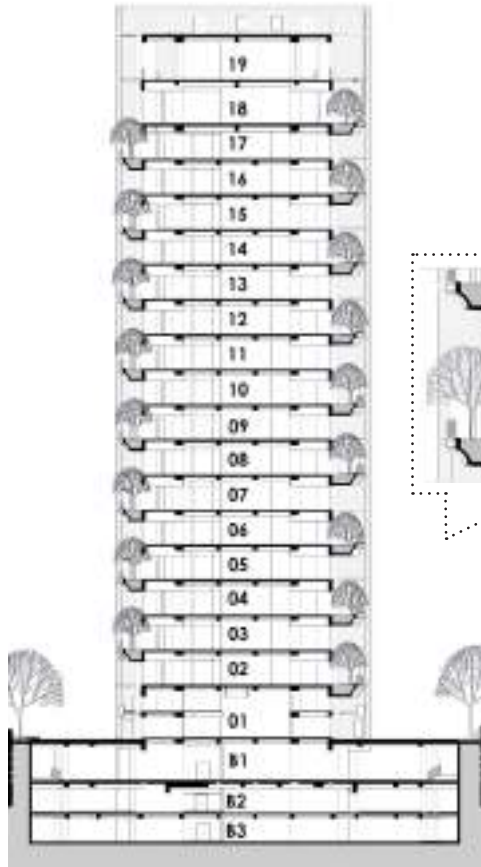
# Basement 2 & 3 Plan



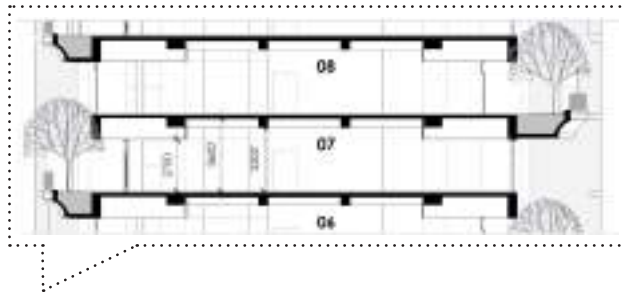
## Legend

- 01** Elevator Lobby
- 02** Staircase
- 03** Service Areas

# Elevation



Section A-A'



Elevation (East)

# Specifications

## STRUCTURE

<b>Shell</b>	RCC frame structure with masonry partitions. The floor to floor height shall be minimum 4m, with Floor to slab bottom of 3.6m
<b>Masonry</b>	High quality exposed brick masonry using specially procured wire-cut bricks shall be provided for parts of the exterior, and other areas shall be provided with table molded brick masonry or hollow clay blocks

## FLOORING & DADO

<b>Lobby Areas</b>	Imported marble laid with paper joints and finished with 8 coats polish.
<b>Other Areas</b>	No flooring shall be provided in any other areas

## SANITARY & PLUMBING

<b>Plumbing</b>	All water supply shall be in cPVC & drainage lines shall be in PVC. Plumbing shall be provided in the ducts only and upto each floor from the shaft. No plumbing fixtures shall be provided for bathrooms or any other area.
<b>Water Supply</b>	The water supply system shall be based on Gravity. The capacity of underground storage including pumps & Overhead Tank capacity shall be based on water requirement as per current National Building Code (NBC). The occupant load for water requirement is based on 100 sft. per person.

## FIRE SAFETY

<b>Fire Fighting</b>	Fire Safety system shall be provided as per NBC 2016, including water reservoirs, pumps and PA System and sprinklers. 2 fire exit stairways in addition to the main stairway.
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## ELECTRICAL

<b>Wiring</b>	All wiring shall be good quality ISI approved make, concealed in 19mm dia, 2mm thick PVC conduit pipes and shall be provided in the common areas only.
<b>Switches</b>	Switches shall be provided in the common areas only

## HVAC

<b>Air-Conditioning</b>	High Side AC will be provided at 1.0 TR (tonne refrigeration) per 400 sft usable carpet area. The occupant load for calculating this factor is based on 100 sft. per person.
<b>Mechanical Ventilation</b>	Basement and Building mechanical ventilation shall be provided as per NBC 2016.

## FENESTRATION

<b>Glazing</b>	Glazing shall be in good quality Aluminium frame with dual glazed Low-E glass of 24mm thickness.
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## UTILITIES

<b>Back-up Power</b>	Back-up power equivalent to power requirement shall be provided. Generators shall be provided with acoustic enclosures with synchronisation panel. DG assumed is with one redundancy (N+1) configuration.
<b>Sewage Treatment</b>	The sewage treatment plant shall be based on current local norms. The occupant load for treatment capacity is based on 100 sft. per person.
<b>Elevators</b>	Elevators shall be provided with automatic doors and SS finish inside the cabins, with multi-beam sensors for door operation. Capacity of elevators shall be based on 100 sft per person. 6 Passenger and 1 Service Elevator. Elevators of Otis or Equivalent make shall be provided.

## LANDSCAPING

<b>Soil</b>	Good quality red soil and sand mixture with manure shall serve as the base layer for landscaping
<b>Irrigation</b>	Sprinklers and a drip irrigation system shall be provided for landscaped areas
<b>Landscaping</b>	Grass, shrubs and bamboo etc. shall be provided and all garden areas shall be completely landscaped.

**Note:** All specifications above are subject to change & decisions taken from time to time by the Developers shall be final and binding. In the brands mentioned above, the Developers may use equivalent brands at their discretion.





**Pursuit of a Radical Rhapsody**

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