BRIDGE
GROUP

PROPOSED VILLAS AT
TUKKUGUDA

BRIDGE
GROUP

ABOUT US

For nearly almost a decade, The Bridge Group India has been one of the leading developers of Real Estate in the states of Telangana and Andhra Pradesh. Over the years we have been very successful in growing in numbers as we have hired some of the foremost and most highly regarded professionals in the business to be a part of our enormous journey.
At Bridge Group India, we pride ourselves on delivering the premium and on-time projects to our esteemed customers that have put their trust in us. We make sure to deliver more than what is expected.

VISION

To provide cost-effective and holistic solutions that make "living a luxurious lifestyle" a dream fulfilled with state-of-the-art residential and commercial complexes by harnessing human resources and technological prowess.

MISSION

To build premium Real Estate projects that set the highest standards in customer satisfaction. To create maximum value for its stakeholders through professionalism, transparency and ethical practices.

Location Map

in close proximity to other premium estates while still being cradled in its own lush seclusion

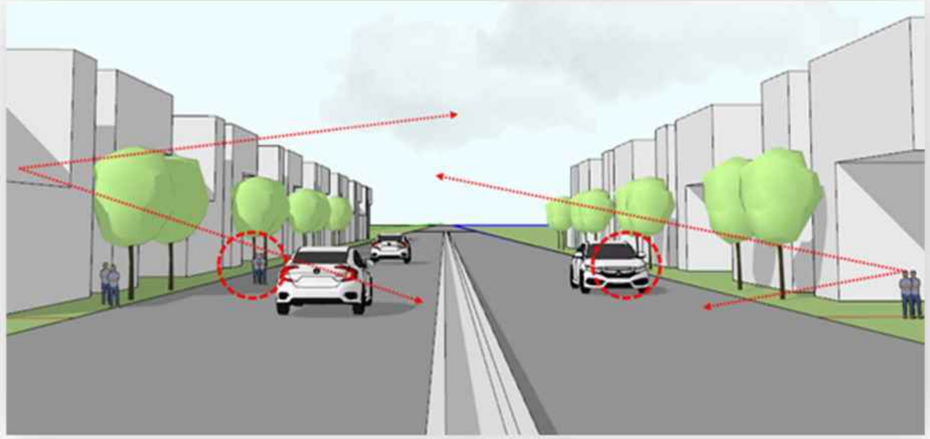
LOCATION : Lemoor road, Thukkuguda, near Maheshwaram, Hyderabad, Telangana

Proximity

- 5 mins from **ORR Tukkuguda Exit 14**
- 3 mins from **FAB City**
- 15 mins from **Rajiv Gandhi Airport**
- 10 mins from **Aga Khan Academy**
- 2 mins from **Sri Sri Academy**
- 30 mins from **Financial District**

CLICK HERE FOR GOOGLE MAP

Constraints in typical Villa Communities



- ✗ Creates 'Buying Prejudice'
- ✗ No separate pedestrian & Traffic movement
- ✗ Invades privacy between villas

According to research the constraints in typical villa communities are :

1. Buying Prejudice
Almost all villa communities have multiple villa orientations and creates hierarchy in what is called a 'buying prejudice' where according to Vaastu East facing Villas offer the most premium, then West, North and lastly South.

2. Privacy
Most layouts have villas facing each other with a central road invading their privacy.

3. Traffic Separation
Most villas have vehicular traffic on the ground floor level of the villas creating a mix of pedestrian and vehicular movement.

Overcoming constraints - 5 project USPs

- Privacy between villas
- Separate pedestrian & Traffic movement
- No buying prejudice

The project comprises of 5 unique features that are a 'first' for any gated community.They are :

1. High Efficiency
A highly efficient layout that harvests nature's 'elements'.

2. Equal Purchasing Parity
All villas are "East Facing' thereby eliminating any 'buying prejudice'.

3. Private villas
Privacy is an 'elevated experience' with this layout as villas are cocooned from both front and sides with the uniquely shaped elevation and the private 40 foot lung space between the front of each villa and the rear of the villa on the opposite side.

4. Traffic Separation
With an overall podium across the layout the spaces around the villas become a pedestrian only free zone.

5. Increased landscaped areas
By intelligently modulating the free space the landscaped areas are enhanced by over 30 pct. when compared to a conventional layout.

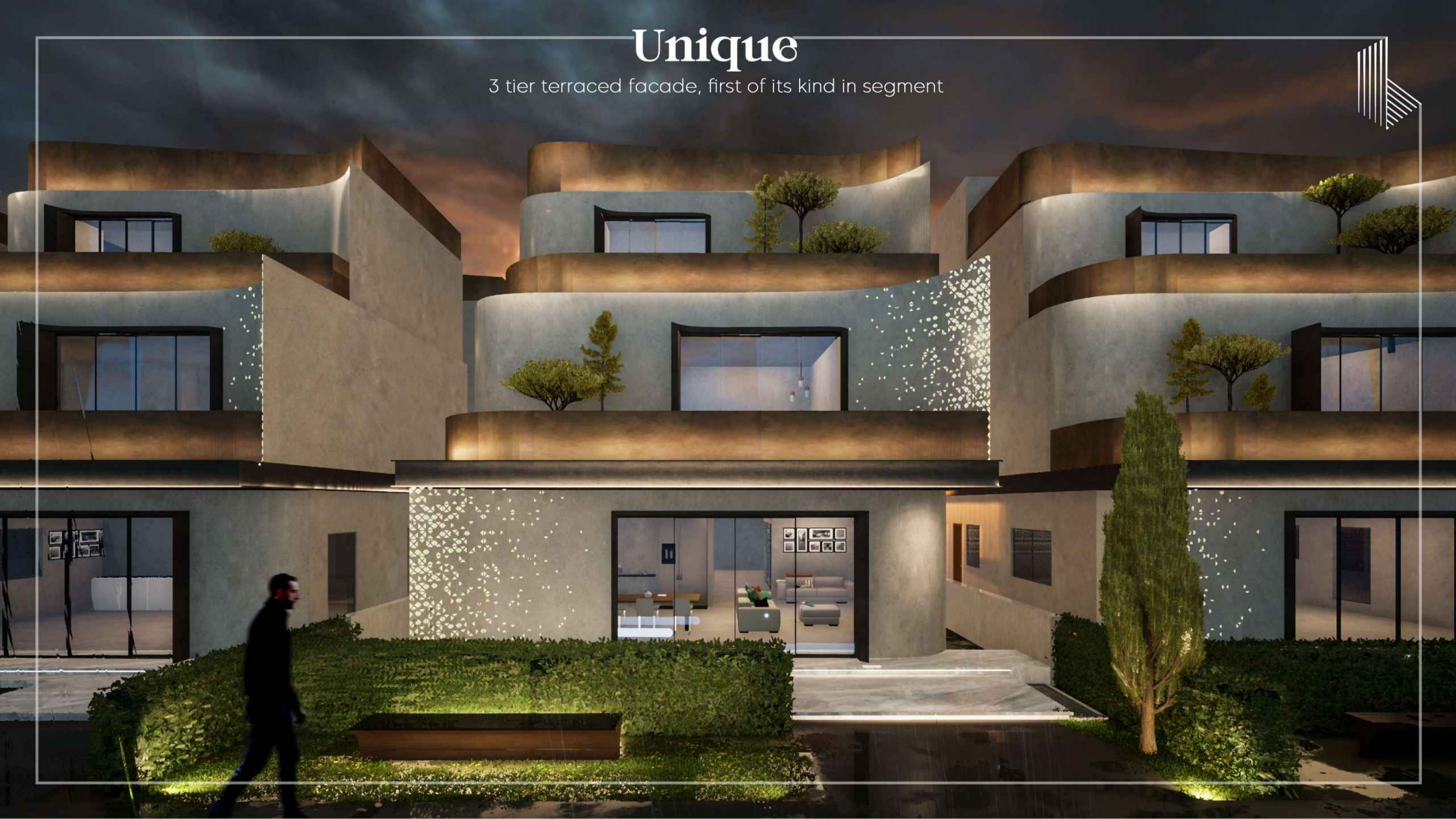
Result

Breathtaking

aerial view of the gated community

Unique

3 tier terraced facade, first of its kind in segment



Well lit,

fully covered car parking with space to accommodate 4 luxury cars

Ease & luxury

vehicular driveways with ample ventilation

World class amenities

and Clubhouse with cutting edge design

- Business lounge
- Co working space
- Conference room
- Library
- Guest rooms
- Banquet hall
- Party lawn
- Preview Theatre
- Supermarket and pharmacy
- Senior citizens room

- Badminton courts
- Squash court
- Volley ball
- Tennis court
- Football turf
- Smash cricket
- Kids play area
- Jogging track
- Cycling track
- Basket ball court

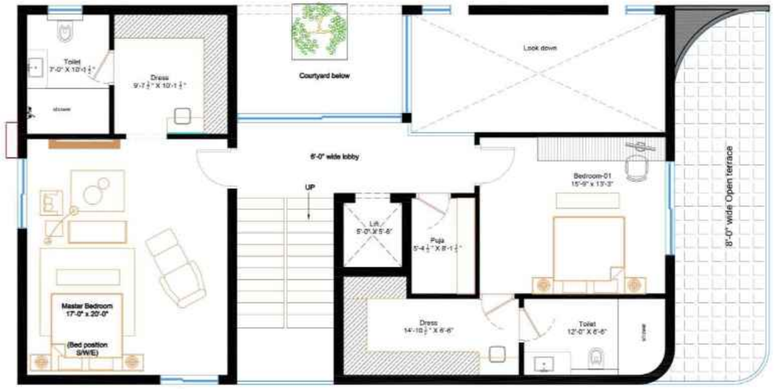
- Gymnasium
- Steam rooms
- Yoga /Aerobics
- Indoor games
- Swimming pool

Private Gardens

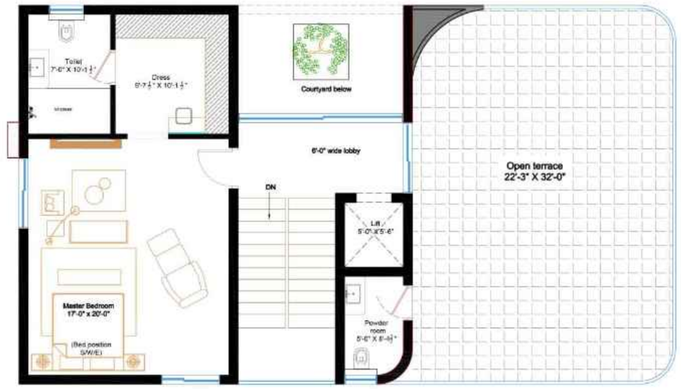
with villa to villa distance of 40 feet and pedestrian only walkway creates an oasis of privacy and space.

Stilt floor

Ground floor



First Floor



Second Floor

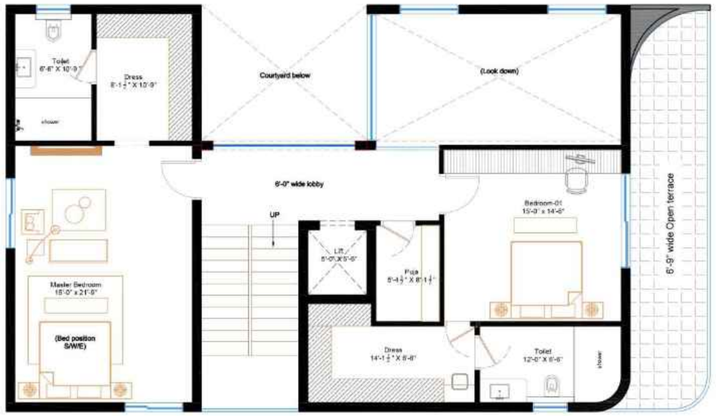
Plot area : **400 Sq.yds**
Built up area : **6175 Sq.ft.**
Number of Villas : **65**

N

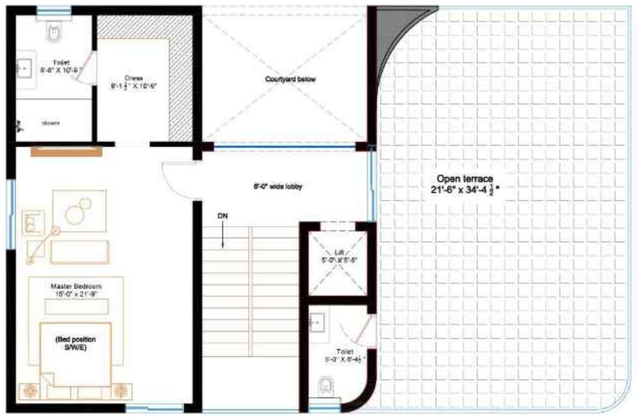
Type 1

Stilt floor

Ground floor



First Floor

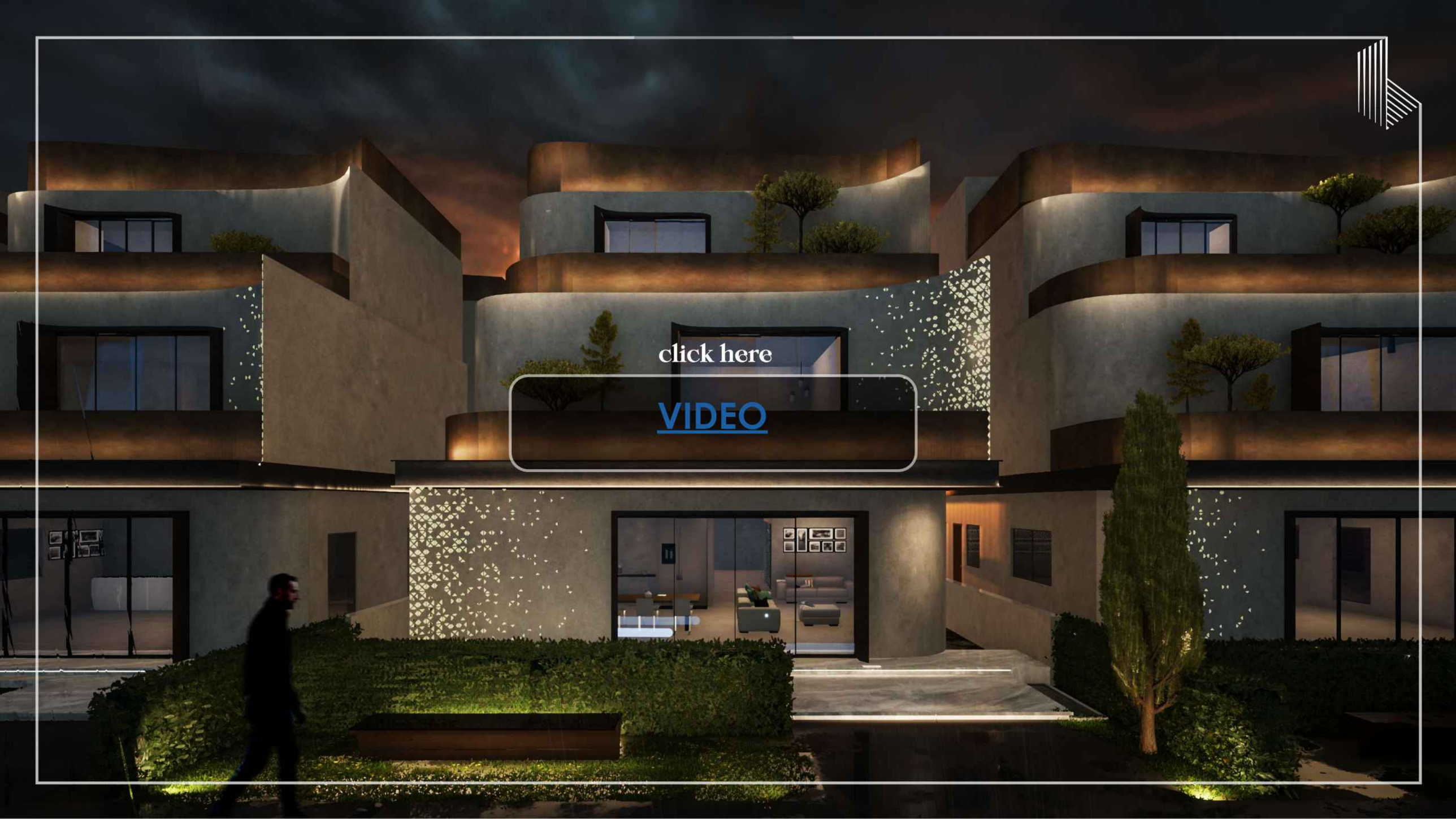


Second Floor

Plot area : **400 Sq.yds**
Built up area : **6105 Sq.ft.**
Number of Villas : **36**

N

Type 2


click here
VIDEO

BRIDGE
GROUP

for more details,

Sales@bridgegroupindia.com

www.bridgegroupindia.com